

ISSUED FOR CONSTRUCTION

2/12/2021



ARCHITECTURE STRUCTURAL ENGINEERING MEP ENGINEERING

TOWN HALL OF SOUTH PALM BEACH

MONOLITHIC INFORMATION SIGN

3577 SOUTH OCEAN BLVD., SOUTH PALM BEACH, FL, 33480

PARCEL ID: 62-43-44-35-00-002-0191

OWNER'S REPRESENTATIVE:

**NAME: TOWN OF SOUTH PALM BEACH
PHONE: 561-588-8889**



COA#30250, AA#26003565
502 NW 2ND STREET, OKEECHOBEE, FLORIDA 34972
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GENERAL PROJECT INFORMATION

SITE LOCATION / ADDRESS
 3577 SOUTH OCEAN BLVD., SOUTH PALM BEACH, FL 33480
PARCEL ID: 62-43-44-35-00-002-0191
CLIENT: TOWN OF SOUTH PALM BEACH
CLIENT'S ADDRESS: 5500 MILITARY TRAIL SUITE 22-215 JUPITER FL 33458
CLIENT'S CONTACT: 561-588-8889

SCOPE OF WORK

CONSTRUCT TWO (2) NEW CUSTOM MONOLITHIC SIGN ON AN EXISTING DEVELOPED COMMERCIAL LOT IN PALM BEACH COUNTY FL. STRUCTURE COMPLIES W/ FBC R201.2, AND IS NEGLIGIBLE TO DAMAGE FROM WEATHERING, AND IS CLASSIFIED AS "VERY HEAVY" TO DAMAGE FROM TERMITES(S).

DESIGN DATA

JURISDICTION: PALM BEACH COUNTY DEPARTMENT OF PLANNING ZONING AND BUILDING PHONE: 561-233-3000

BUILDING CODES IN EFFECT:
 FLORIDA BUILDING CODE 7TH EDITION (2020) BUILDING
 FLORIDA BUILDING CODE 2020 ENERGY CONSERVATION
 FLORIDA BUILDING CODE 7TH EDITION (2020) ACCESSIBILITY
 2020 NATIONAL ELECTRIC CODE (NEC)
 FLORIDA FIRE PREVENTION CODE 7TH EDITION (2020)

OCCUPANCY USE: "U" MISCELLANEOUS
SPRINKLERED: NO
BUILDING DESIGNED: OPEN
CONSTRUCTION TYPE: N/A OR II-B
ULTIMATE WIND SPEED: V (ULT) 170 MPH
NOMINAL WIND SPEED: V (ASD) 132 MPH
EXPOSURE: D
RISK CATEGORY: II
INTERNAL PRESSURE COEFFICIENT: +/- 0.18
ADJUSTMENT FACTOR FOR HEIGHT AND EXPOSURE: 1.47
IMPORTANCE FACTOR: N/A
MEAN ROOF HEIGHT: N/A
ROOF PITCH: N/A

COMPONENTS AND CLADDING PRESSURES:
ROOF ZONES: 1 - 32.5 PSF 2 - 68.7 PSF 3 - 68.7 PSF
WALL ZONES: SEE ELEVATIONS

LOADS:
FLOOR: 40 PSF **ROOF/DEAD:** 10 PSF **ROOF/LIVE:** 30 PSF

BEARING PRESSURES:
 MINIMUM SOIL BEARING PRESSURE: 2500 PSF
 PRESUMPTIVE SOIL BEARING PRESSURE: 2500 PSF

SITE LOCATION DATA

LOT IS 35-44-43, S 100 FT OF N 300 FT OF S 1/2 OF GOV LT 2 LYG W OF A1A

FLOOD ZONE: AE **BASE FLOOD ELEVATION:** 6'

ZONE CLASSIFICATION: MUNICIPAL
LAND AREA: .9884 ACRES **NEIGHBORHOOD:** N/A
MARKET: N/A **DOR USE CODE:** 8000
TAX DISTRICT: N/A **SITR:** 02493 / 1435

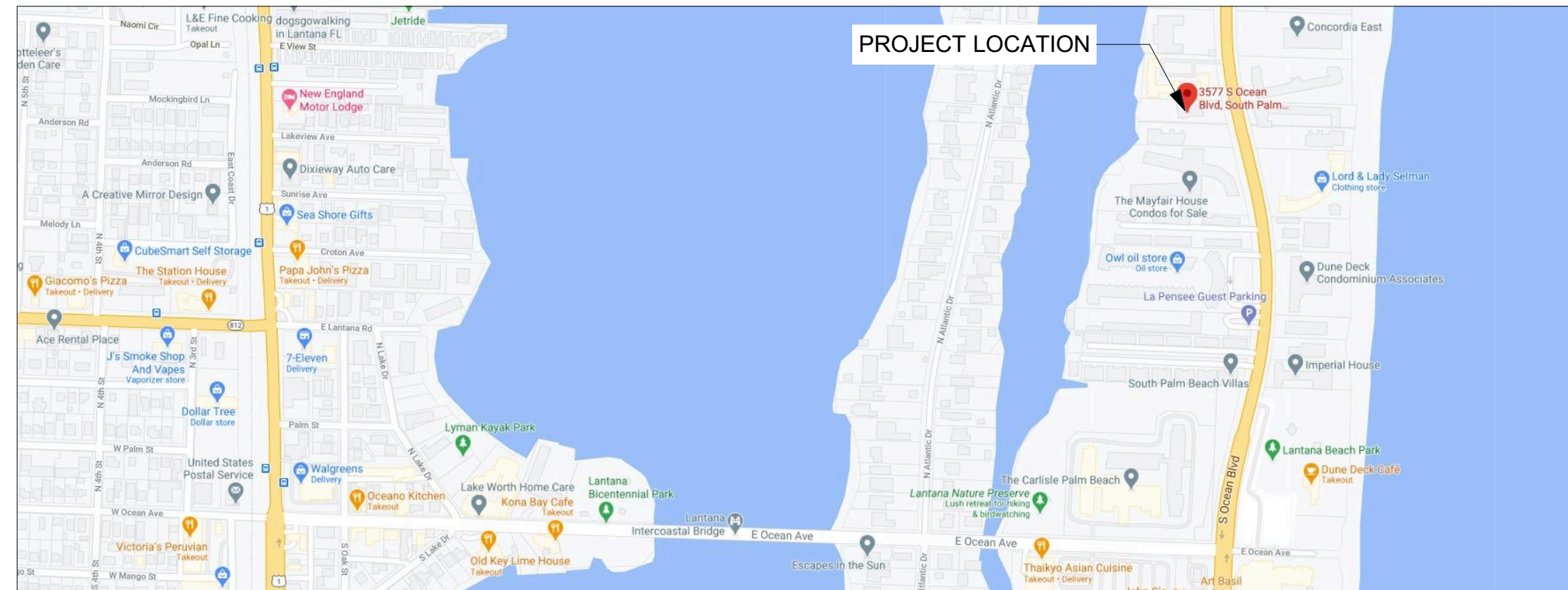
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LOCATION MAP NOT TO SCALE



FRONT PERSPECTIVE NOT TO SCALE

SHEET INDEX

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ARCHITECTURE			
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A-001	NOTES, SYMBOLS	-	-
A-101	HORIZONTAL PLANS AND SECTIONS	-	-
A-201	ELEVATIONS	-	-

GENERAL NOTES

- DRAWINGS ARE NOT TO BE SCALED. ON SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR, AND ALL NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- CONTRACTOR TO VERIFY ALL DIMENSIONS & ADVISE ENGINEER OF ANY DISCREPANCIES. CONSTRUCTION SHALL NOT PROCEED UNTIL SAID DISCREPANCIES HAVE BEEN RESOLVED AND APPROVED BY ENGINEER.
- NO MATERIALS OR SYSTEMS ARE TO BE FABRICATED UNTIL: A. ALL DIMENSIONS HAVE BEEN VERIFIED BY THE CONTRACTOR, B. SHOP DRAWINGS HAVE BEEN REVIEWED AND ACCEPTED BY THE ENGINEER. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR APPROVAL BEFORE COMMENCING FABRICATION AND/OR INSTALLATION OF ALL APPLICABLE ITEMS OF CONSTRUCTION. ALL SHOP DRAWINGS DIMS SHALL BE FIELD VERIFIED, REVIEWED AND APPROVED BY CONTRACTOR BEFORE SUBMITTAL. INCOMPLETE SHOP DRAWINGS OR LACKING SUFFICIENT INFORMATION WILL BE RETURNED WITHOUT REVIEW. ALL SHOP DRAWINGS REQUIRE APPROVAL IN THE CITY. CONTRACTOR TO SUBMIT A MINIMUM OF FIVE (5) SETS OF COMPLETE SHOP DRAWINGS OR AS SUBMITTALS FOR APPROVAL BEFORE COMMENCING FABRICATION AND/OR INSTALLATION OF ALL APPLICABLE ITEMS OF CONSTRUCTION. ALL SHOP DRAWING DIMENSIONS SHALL BE FIELD VERIFIED, REVIEWED AND APPROVED BY THE CONTRACTOR BEFORE SUBMITTAL, AND SO NOTED. RE-REVIEW BY ARCHITECT OR ENGINEER REQUIRED BY SUBMITTAL NOT EVALUATED AND APPROVED BY CONTRACTOR SHALL BE PAID FOR BY THE CONTRACTOR ON HOURLY RATES ESTABLISHED IN ARCHITECT'S CONTRACT FOR SERVICES FOR THIS PROJECT.
- PLANS AS DESIGNED ARE THE SOLE PROPERTY OF GREEN DESIGN CONSTRUCTION & DEVELOPMENT, LLC AND MAY NOT BE USED OR REPRODUCED WITHOUT THE EXPRESS WRITTEN CONSENT OF GREEN DESIGN CONSTRUCTION & DEVELOPMENT, LLC OR IT'S DULY AUTHORIZED REPRESENTATIVES. PLANS MAY BE PURCHASED SEPARATELY BY CONTRACTING GREEN DESIGN CONSTRUCTION & DEVELOPMENT, LLC @ (863) 467-1111.
- THE ENGINEER WILL NOT BE RESPONSIBLE FOR AND WILL NOT HAVE CONTROL OR CHARGE OF CONSTRUCTION METHODS, TECHNIQUES, PROGRAM, SEQUENCES OR PROCEDURES OR FOR THE SAFETY PRECAUTIONS AND PROGRAMS TO BE USED WITH THE WORK. HE OR SHE WILL NOT BE RESPONSIBLE FOR THE CONTRACTORS FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE ENGINEER SHALL NOT HAVE CONTROL, CHARGE OR BE RESPONSIBLE FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUB-CONTRACTORS, OR ANY OF THEIR AGENTS OR EMPLOYEES OR ANY OTHER PERSON PERFORMING ANY OF THE WORK ON THIS SITE.
- THE STRUCTURAL ENGINEER OF RECORD IS NOT RESPONSIBLE FOR THE DESIGN OF STEEL STAIRS, HANDRAILS, CURTAIN WALLS, WINDOWS, PRECAST CLADDING, COLD-FORMED METAL FRAMING, OR OTHER SYSTEMS NOT SHOWN IN THE STRUCTURAL DOCUMENTS. SUCH SYSTEMS SHALL BE DESIGNED, DIMENSIONED AND INSTALLED BY OTHERS AS REQUIRED IN OTHER PORTIONS OF THE CONTRACT DOCUMENTS.
- CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL BUILDING CODES. PERMIT SHALL BE POSTED ON A VISIBLE PLACE AT ALL TIMES.
- ALL WORK, MATERIALS AND EQUIPMENT UTILIZED IN THIS PROJECT SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS AND SPECIFICATIONS.
- ALL WORK FOR THIS PROJECT SHALL CONFORM TO STANDARDS PUBLISHED BY RECOGNIZED PROFESSIONAL AND INDUSTRY ORGANIZATIONS AS PER FBC.
- ALL MATERIALS USED SHALL BE NEW DELIVERED TO THE JOB IN ORIGINAL SEALED CONTAINERS BEARING ORIGINAL MANUFACTURERS LABELS.
- BEFORE COMMENCING WITH THE WORK, THE CONTRACTOR SHALL FILE WITH THE OWNER CURRENT INSURANCE CERTIFICATIONS IN THE AMOUNTS REQUESTED BY THE OWNER FOR WORKMAN COMPENSATION, COMPREHENSIVE GENERAL LIABILITY, BODILY INJURY AND PROPERTY DAMAGE. IT IS THE INTENTION OF THE PARTIES THAT CONTRACTOR SHALL IDENTIFY THE OWNER AND ARCHITECT FOR ANY AND ALL COSTS, CLAIMS, SUITES, AND JUDGMENTS FOR PROPERTY DAMAGE AND PERSONAL INJURY, ARISING OUT OF THE WORK CONTRACTOR.
- THE CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADES: STRUCTURAL, PLUMBING, FIRE PROTECTION, ELECTRICAL & AIR CONDITIONING AT THE TIME THE WORK IS PERFORMED ON THIS STRUCTURE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR VISITING THE SITE PRIOR TO BIDDING AND FAMILIARIZING HIMSELF WITH ALL EXISTING CONDITIONS AFFECTING THE WORK, INCLUDING BUT NOT LIMITED TO PRIVATE AND PUBLIC UTILITIES, ON AND OFF SITE, ACCESS ROADS, AND OTHER SUPPORT FACILITIES.
- CONTRACTOR HAS THE SOLE RESPONSIBILITY OF DETERMINING THE ERECTION PROCEDURE AND SEQUENCE TO ENSURE THE SAFETY OF THE BUILDING AND ITS COMPONENT PARTS DURING ERECTION. THIS INCLUDES, BUT IS NOT LIMITED TO, TEMPORARY BRACING, GUS, FALSE WORK OR CRIBBING THAT WILL BE NECESSARY TO STABILIZE THE STRUCTURE DURING ERECTION, UNDER ALL LOADING CONDITIONS. SUCH MATERIAL SHALL BE REMOVED AND SHALL REMAIN THE PROPERTY OF THE CONTRACTOR AFTER COMPLETION OF THE PROJECT.
- REFER TO ARCHITECTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND CIVIL DRAWINGS FOR INSERTS, SLEEVES, CURBS, PADS, ETC. THAT AFFECT STRUCTURAL WORK.
- CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES SHOWN IN THE CIVIL SHEETS PRIOR TO THE EXCAVATION FOR THE BUILDING FOUNDATIONS. THE STRUCTURAL ENGINEER SHALL BE NOTIFIED OF POTENTIAL CONFLICTS BETWEEN THE FOUNDATIONS AND ANY BURIED UTILITY PIPES.
- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO ORDERING ANY MATERIALS, AND SHALL IMMEDIATELY NOTIFY THE ENGINEER WHERE CONDITIONS MAY VARY FROM WHAT ARE SHOWN ON THE DRAWINGS.
- WHERE A DETAIL IS LABELED "TYPICAL" ON THE STRUCTURAL DRAWINGS, IT SHALL APPLY TO ALL SAME OR SIMILAR CONDITIONS ON THE PROJECT.
- CONTRACTOR SHALL NOTIFY ARCHITECT/ENGINEER FOR CLARIFICATION PRIOR TO BIDDING OF ANY DISCREPANCY BETWEEN, BUT NOT LIMITED TO THE ARCHITECTURAL, STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS. ANY DISCREPANCIES AFTER BIDDING SHALL BE INTERPRETED AS IF IT WAS BID BASED ON THE MOST EXPENSIVE METHOD OR FINISH.
- CONTRACTOR TO OBTAIN WRITTEN APPROVAL FROM OWNER AND ARCHITECT/ENGINEER PRIOR TO ANY CHANGES OR DEVIATION FROM CONTRACT DOCUMENTS.
- SUBSTANTIAL COMPLETION SHALL BE ATTAINED WHEN ALL PHASES OF THE WORK ARE COMPLETED EXCLUDING ALL FINAL PUNCH LISTS ITEMS, REGARDLESS OF OWNERS USAGE OR OCCUPANCY OF THE IMPROVEMENT.
- UNDER NO CIRCUMSTANCES WILL ASSUMPTIONS BY THE CONTRACTOR BE CONSIDERED THE DESIGN INTENT OR APPROVAL OF THE ARCHITECT OR ENGINEER UNLESS THERE IS WRITTEN APPROVAL BY THEM.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND/OR THE REPLACEMENT OF ANY EQUIPMENT DAMAGED DURING CONSTRUCTION OR CLEAN-UP. CONSTRUCTION PERSONNEL SHALL BE CONFINED TO THE LIMITS OF THE CONSTRUCTION AREA. ALL OSHA REGULATIONS FOR CONSTRUCTION AREAS SHALL BE STRICTLY FOLLOWED.
- ALL DIMENSIONS ARE BASED ON NOMINAL SIZES OF MEMBERS AND ARE GIVEN TO THE OUTER FACE OF SUCH MEMBERS, NOT TO FACE OF FINISH MATERIAL UNLESS OTHERWISE NOTED ON DRAWINGS.
- THE CONTRACTOR SHALL BE AWARE THAT SPECIFIC FIRE RATED SEPARATION WITHIN THE BUILDINGS CONSTRUCTION ARE REQUIRED BY CODE. THE USE OF SPECIFIC MATERIALS AND COMBINATIONS OF WITHIN FIRE RATED ASSEMBLIES AS CALLED FOR ON THE DRAWINGS AND SPECIFICATIONS ARE FOR THE PURPOSE OF ACHIEVING THOSE REQUIRED FIRE SEPARATION. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO VERIFY THAT CHANGE IN MATERIALS THAT ARE REQUESTED BY OR MADE BY THE CONTRACTOR AND/OR IT'S SUB-CONTRACTORS, FROM THOSE MATERIALS DRAWN OR SPECIFIED, DOES NOT IN ANY WAY AFFECTED OR LESSEN THE REQUIRED FIRE RATED CONSTRUCTION OR ASSEMBLY.
- UPON COMPLETION OF THIS PROJECT, THE CONTRACTOR SHALL GIVE THE OWNER AND ARCHITECT A COMPLETE SET OF AS-BUILT ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS ALONG WITH THE WRITTEN WARRANTIES, OPERATION AND MAINTENANCE MANUALS OF ALL EQUIPMENT AND FINISHES INSTALLED. THE CONTRACTOR SHALL MAINTAIN A CURRENT SET OF AS-BUILT DRAWINGS. INFORMATION SHALL BE RECORDED BY CONTRACTOR AS CONSTRUCTION PROGRESSES.
- OPENING WORK AS MAY BE NECESSARY FOR PROPER INSTALLATION OF HIS OWN OR OTHER CONTRACTOR WORK CONSULTING WITH OTHER CONTRACTORS CONCERNED REGARDING PROPER LOCATION AND SIZE OF SAME. IN CASE OF HIS FAILURE TO LEAVE OR CUT SAME IN THE PROPER PLACE, HE SHALL CUT THEM AFTERWARDS AT HIS OWN EXPENSE. NO EXCESSIVE CUTTING WILL BE PERMITTED NOR SHALL ANY STRUCTURAL MEMBERS WILL BE CUT WITHOUT THE CONSENT OF THE ARCHITECT. CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE COORDINATION OF ALL WORK OF TRADES PLUS THE COORDINATION, REPAIR AND PREPARATION FOR THE WORK OF ANY OTHER TRADES THAT WILL BE SUBSEQUENTLY LET UNDER SEPARATE CONTRACT BY THE OWNER.
- CONTRACTOR SHALL COORDINATE WITH MECHANICAL AND ELECTRICAL CONTRACTORS THE LOCATION OF ALL ACCESS PANELS SO AS TO ALLOW FOR PROPER EQUIPMENT ACCESSIBILITY, MAINTENANCE AND/OR OPERATION OF THE BUILDING SYSTEMS PRIOR TO THE START OF WORK. THE OMISSION OF ANY OR ALL ACCESS PANELS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY FROM PROVIDING AND INSTALLING SUCH PANELS OR DOORS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL DEBRIS AND CONSTRUCTION MATERIAL FROM THE SITE. CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR PROPERLY CLEANING ALL AREAS PRIOR TO FINAL ACCEPTANCE BY THE OWNER INCLUDING BUT NOT LIMITED TO WINDOWS, STOREFRONT, FLOORS CARPETS, WALLS, DOORS, EQUIPMENT, ETC.
- THE CONTRACTOR SHALL GUARANTEE IN WRITING FORM AS ACCEPTABLE TO THE OWNER ALL LABOR AND MATERIALS INSTALLED BY HIM FOR A PERIOD OF NOT LESS THAN (1) ONE YEAR AFTER DATE OF ACCEPTANCE OF WORK BY THE OWNER EXCEPT AS MODIFIED HEREIN OR ON OTHER DRAWINGS, SHOULD DEFECTS OCCUR ALL WORK SHALL BE REPLACED OR PROPERLY REPAIRED AT NO ADDITIONAL COST TO THE OWNER.
- ALL WORK COMPLETED OR OTHERWISE, SHALL BE PROPERLY PROTECTED AT ALL TIMES. CONTRACTOR SHALL FOLLOW ALL ACCEPTED METHODS OF SAFETY PRACTICE AND PROVIDE ALL FENCES, BARRICADES, ETC. AS MAY BE NEEDED TO PROTECT LIFE AND PROPERTY AND AS MAY BE REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER THIS WORK. HE SHALL REPAIR AT HIS OWN COST ANY DAMAGES TO THE PREMISES OR ADJACENT WORK CAUSED BY HIS OPERATION.

ABBREVIATIONS

ABV.	--- ABOVE	JT.	--- JOINT
AC.	--- AIR CONDITIONING	KIT	--- KITCHEN
ACOUS.	--- ACOUSTICAL	LAV.	--- LAVATORY
A.C.T.	--- ACOUSTICAL CEILING TILE	L.F.	--- LINEAR FEET
ADM.	--- ADMINISTRATION	L.P.	--- LOW POINT
ADRAIN	--- AREA DRAIN	MAX.	--- MAXIMUM
ADJ.	--- ADJACENT	MECH.	--- MECHANICAL
A.F.F.	--- ABOVE FINISH FLOOR	MFR.	--- MANUFACTURER
APF	--- ACOUSTICAL FINISH PLASTER	MGR.	--- MANAGER
A.H.U.	--- AIR HANDLING UNIT	MH	--- MANHOLE
ALUM.	--- ALUMINUM	MIN.	--- MINIMUM
ANOD.	--- ANODIZED	MISC.	--- MISCELLANEOUS
ARCH.	--- ARCHITECTURAL	M.O.	--- MASONRY OPENING
A.S.B.	--- ASBESTOS	MTL.	--- METAL
ASPH.	--- ASPHALT	NA	--- NOT APPLICABLE
ASST.	--- ASSISTANT	NC	--- NON-COMBUSTIBLE
BATT	--- BATT INSULATION	N.I.C.	--- NOT IN CONTRACT
BB.	--- BACKER BOARD	No. / NUM	--- NUMBER
BD.	--- BOARD	NOM.	--- NOMINAL
BLDG.	--- BUILDING	N.T.S.	--- NOT TO SCALE
BLK.	--- BLOCK / BLOCKING	O.C.	--- ON CENTER
BM.	--- BEAM	O.D.	--- OUTSIDE DIAMETER
BOTT.	--- BOTTOM	O.F.I.C.	--- OWNER FURNISHED, CONTRACTOR INSTALLED
CAB.	--- CABINET	O.H.	--- OFFICE
CB.	--- CATCH BASIN	OFF.	--- OFFICE
CEM.	--- CEMENT	O.S.H.A	--- OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION STANDARDS
C.PLAS.	--- CEMENT PLASTER	OPNG.	--- OPENING
C.G.	--- CORNER GUARD	P.L.	--- PROPERTY LINE
C.H.G.	--- CEILING HEIGHT	PLAM.	--- PLASTIC LAMINATE
C.J.NT.	--- CONTROL JOINT	PLASTE.	--- PLASTER
CLR.	--- CLEAR (FINISH TO FINISH)	PLUM.	--- PLUMBING
CONIP.	--- COMPUTER	P.LYVD.	--- PLYWOOD
CPT.	--- CARPET	P.O.B.	--- POINT OF BEGINNING
CT.	--- CERAMIC TILE	PR.	--- PAIR
CLG.	--- CEILING	PTD.	--- PAINTED
CLO.	--- CLOSET	RISE	--- RISE
C.O.	--- CLEAN OUT	R.M.	--- ROOM
CONC.	--- CONCRETE	R.D.	--- ROOF DRAIN
CONT.	--- CONTINUOUS	REF.	--- REFERENCE
C.M.U.	--- CONCRETE MASONRY UNIT	REFL.	--- REFLECTED
DETL.	--- DETAIL	REINF.	--- REINFORCED
DIA.	--- DIAMETER	REQ.	--- REQUIRED
DIR.	--- DIRECTOR	R.O.	--- ROUGH OPENING
DN.	--- DOWN	RT	--- RESILIENT TILE
D.O.	--- DOOR OPENING	SC	--- SOLID CORE
DR.	--- DRAWER	SCH.	--- SCHEDULE
DWR.	--- DRAWING	SERV.	--- SERVICE
DWS.	--- DRAWING	SHR.	--- SHOWER
EA.	--- EACH	SHT.	--- SHEET
ELEC.	--- ELECTRICAL	SIM.	--- SIMILAR
ELEV.	--- ELEVATION	SPEC.	--- SPECIFICATIONS
EL.	--- ELEVATOR	SQ.	--- SQUARE
E.N.C.	--- EXISTING, NO CHANGE	SL.	--- SLOPE
E.O.S.	--- EDGE OF SLAB	SLD.	--- SLIDING
EQ.	--- EQUAL	SREF	--- STATE REQUIREMENTS FOR RESTRICTIONAL FACILITIES (2017 ED.)
EQUIP.	--- EQUIPMENT	S.S.	--- SERVICE SINK
E.W.C.	--- ELECTRIC WATER COOLER	S.S.TL.	--- STAINLESS STEEL
EXH.	--- EXHAUST	STL.	--- STEEL
EXT.	--- EXTERIOR	STRUC.	--- STRUCTURAL
EXP.-JT.	--- EXPANSION JOINT	SUSP.	--- SUSPENDED
F.B.C. 2017	--- FLORIDA BUILDING CODE (2017)	SYM.	--- SYMMETRICAL
F.D.	--- FIRE DAMPER	T	--- TREAD
F.F.E.	--- FINISH FLOOR ELEVATION	TEMP.	--- TEMPERED
F.F.E.	--- FINISH FLOOR ELEVATION	THK.	--- THICKNESS
F.F.E.	--- FINISH FLOOR ELEVATION	T.O.	--- TOP OF
F.F.E.	--- FINISH FLOOR ELEVATION	TYP.	--- TYPICAL
F.F.P.C.	--- FLORIDA FIRE PROTECTION CODE	UA	--- UNLIMITED AREA
FIXT.	--- FIXTURE	U.C.	--- UNDER COUNTER
FLASH.	--- FLASHING	U.L.L.	--- UNDERWRITERS LABORATORY UNLESS OTHERWISE NOTED
FL.D.	--- FLOOR DRAIN	U.N.O.	--- UNLESS OTHERWISE NOTED
F.O.F.	--- FACE OF FINISH	VERT.	--- VERTICAL
F.R.	--- FIRE RATED	VEST.	--- VESTIBULE
F.V.	--- FIELD VERIFY	V.I.F.	--- VERIFY IN FIELD
GALV.	--- GALVANIZED	VWC	--- VINYL WALL COVERING
GEN.	--- GENERATOR	VT	--- VINYL TILE
GL.	--- GLASS	W.	--- WITH
G.W.B.	--- GYPSUM WALL BOARD	W.C.	--- WATER CLOSET
H.C.	--- HOLLOW CORE	WD	--- WOOD
HDWD.	--- HARD WOOD	W/O	--- WITHOUT
HM	--- HOLLOW METAL	WP.	--- WATERPROOF
HORIZ.	--- HORIZONTAL	WT.	--- WEIGHTED
HGT.	--- HEIGHT	WWF	--- WELDED WIRE FABRIC
H.P.	--- HIGH POINT		
IDIA.	--- INSIDE DIAMETER		
INSUL.	--- INSULATION		
INT.	--- INTERIOR		
INV.	--- INVERT		

DIRECTORY

OWNER	TOWN OF SOUTH PALM BEACH 3577 SOUTH OCEAN BLVD., SOUTH PALM BEACH, FL 33480 561-588-8889 Client E-mail	STRUCTURE	GREEN DESIGN CONSTRUCTIONS & DEVELOPMENT, LLC JOHN H. CRESWELL P.E. 4650 SE KUBIN AVE, STUART, FL, 34997 (863) 467-1111 john@gdcflorida.com
BUILDER	TBD TBD TBD	MECHANICAL	TBD TBD TBD
ELECTRICAL	TBD TBD TBD	PLUMBING	TBD TBD TBD

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TOWN HALL OF SOUTH PALM BEACH
 MONOLITHIC INFORMATION SIGN

PROJECT ADDRESS: 3577 SOUTH OCEAN BLVD.
 PROJECT CITY: SOUTH PALM BEACH
 PROJECT STATE: FL
 PROJECT ZIP CODE: 33480
 PARCEL ID: 62-43-44-35-00-002-0191

ISSUED FOR CONSTRUCTION

LIABILITY NOTE

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REVISION

WRITTEN DIMENSIONS ON THESE DOCUMENTS SHALL TAKE PRECEDENCE OVER ALL SCALED DIMENSIONS.

DRAWN BY

B.S. & K.W.

CHECKED BY

J.H.C.

DATE

2/12/2021

SHEET

G-001

GENERAL PROJECT DATA, NOTES AND SHEET INDEX

ARCHITECTURAL NOTES

- THE GENERAL CONDITIONS OF THE CONTRACT FOR THE CONSTRUCTION OF BUILDING OF THE AMERICAN INSTITUTE OF ARCHITECTS, DOCUMENT A-201, LATEST ADDITION HEREBY MADE PART OF CONTRACT DOCUMENTS. THESE GENERAL NOTES, SPECIFICATIONS AND CONTRACT BETWEEN THE OWNER AND CONTRACTOR SHALL TAKE PRECEDENCE OVER THE "GENERAL CONDITIONS" IN THE EVENT OF A CONFLICT.
- SCHEDULE OF VALUES: CONTRACTOR SHALL SUBMIT A DETAILED COST BREAKDOWN "SCHEDULE OF VALUES" IN THE OF AIA G702 PRIOR TO THE FIRST PAYMENT. THIS SCHEDULE OF VALUES SHALL CLOSELY FOLLOW THE STANDARD CSI FORMAT, AND SHALL BREAKDOWN UNITS OF WORK IN SUFFICIENT DETAIL TO ALLOW ARCHITECT TO EVALUATE THE WORK COMPLETED. THE BREAKDOWN SHALL BE A TRUE REFLECTION OF THE COST OF WORK AND SHALL NOT BE "FRONT-END" LOADED. THE SCHEDULE OF VALUES SHALL BE 5% AND SHALL BE HELD UNTIL SUBSTANTIAL COMPLETION OF WORK.
- ALL CONDITIONS AND APPLICABLE REQUIREMENTS OF THE CONTRACT BETWEEN THE CONTRACTOR AND OWNER SHALL GOVERN ALL SECTIONS OF THE SPECIFICATIONS OF CODES AND MANUFACTURER WHICHEVER IS MORE RESTRICTIVE.
- CONTRACTOR TO REMOVE, RELOCATE OR RE-ROUTE AS NECESSARY ELECTRICAL, WATER, GAS OR ANY OTHER UTILITY LINES ENCOUNTERED DURING CONSTRUCTION.
- ALL PERMITS, INSPECTIONS, APPROVALS, ETC. SHALL BE APPLIED FOR AND PAID FOR (AS PART OF BID PRICE) BY THE CONTRACTOR IN ALL FIELDS OF THE WORKS, AND HE SHALL BE RESPONSIBLE FOR THE COORDINATE OF INSPECTION AND APPROVAL OF THE WORK. PRIME BUILDING PERMITS SHALL NOT BE OBTAINED BY THE CONTRACTOR.
- SUBMIT A COPY OF THE CONTRACT DOCUMENTS ISSUED FOR PERMIT BY THE BUILDING DEPARTMENT, TO THE ENGINEER/ARCHITECT TO ALLOW HIM/HER TO INCORPORATE ANY BUILDING DEPARTMENT MODIFICATIONS INTO THE PLANS PRIOR TO THE START OF CONSTRUCTION.
- CONTRACTOR MUST NOTIFY ENGINEER/ARCHITECT IMMEDIATELY OF ANY UNEXPECTED OR UNKNOWN CONDITIONS, DISCREPANCIES IN THE DRAWINGS AND CONTRACT DOCUMENTS, ANY ERRORS OR OMISSIONS ON THE DRAWINGS IN THE FIELD PRIOR TO PROCEEDING WITH WORK OR SHOP FABRICATION.
- OMISSIONS: IN THE EVENT THAT CERTAIN FEATURES OF THE CONSTRUCTION ARE NOT FULLY SHOWN ON THE DRAWINGS, THEN THEIR CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS FOR SIMILAR CONDITIONS THAT ARE SHOWN OR NOTED.
- CONTRACTOR SHALL PREPARE AND MAINTAIN ALL CONSTRUCTION AREAS, AS WELL AS SURROUNDING AREAS FREE OF DEBRIS OR HAZARDOUS EQUIPMENT.
- CONTRACTOR SHALL VERIFY THAT ALL INTERIOR FINISHES COMPLY W/ FBC R302.9 FLAME SPREAD INDEX AND SMOKE-DEVELOPED INDEX FOR WALL CEILING FINISHES. WALL AND CEILING FINISHES SHALL HAVE A FLAME SPREAD INDEX OF NOT GREATER THAN 200. WALL AND CEILING FINISHES SHALL HAVE A SMOKE-DEVELOPMENT INDEX OF NOT GREATER THAN 450. TESTING SHALL BE DONE IN ACCORDANCE WITH ASTM E 84, OR UL 723.
- CONTRACTOR SHALL VERIFY THAT ALL INSULATION COMPLIES W/ FBC R302.10: FLAME SPREAD INDEX AND SMOKE INDEX FOR INSULATION. INSULATION MATERIALS SHALL HAVE A FLAME SPREAD INDEX NOT TO EXCEED 25 WITH AN ACCOMPANYING SMOKE-DEVELOPED INDEX NOT TO EXCEED 450.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND THE COST OF ALL THE REQUIRED BUILDING AND TRADE PERMITS.
- ALL CONTRACTORS WORK SHALL BE PERFORMED IN A FIRST CLASS WORKMAN-LIKE MANNER MATCHING AND ALIGNING ALL SURFACES WHERE APPLICABLE TO AFFORD A FINISHED, NEAT APPEARANCE. CONTRACTOR SHALL BE CLEAN ALL SURFACES FREE OF ALL DIRT AND REFUSE CAUSED BY DEBRIS FROM ALL INSTALLATION TECHNIQUES OF TRADE. ALL ADJACENT SURFACES TO THEIR WORK SHALL BE LEFT AS THEY APPEAR PRIOR TO THE COMMENCEMENT OF THE CONTRACTORS WORK TO BE DONE. CONTRACTOR SHALL PROPERLY PROTECT ALL ADJACENT SURFACES DURING THE COURSE OF HIS INSTALLATIONS. ALL GLASS AND HARDWARE SHALL BE THOROUGHLY CLEANED IN A MANNER ACCEPTABLE TO THE OWNER.
- WHERE CMU IS INDICATED TO HAVE A SPECIFIC HOURLY FIRE RATING, THIS SHALL BE TAKEN AS THE MINIMUM ALLOWED.
- ALL WOOD FRAMING, INCLUDING PLYWOOD, WHICH IS CONCEALED WITHIN WALLS OR CEILINGS OR USED FOR SUPPORT OF WALLS OR CEILINGS MUST BE FIRE RETARDANT AND, PRESSURE TREATED WOOD MUST BE USED WHERE IN CONTACT WITH CONCRETE OR MASONRY.
- ALL PIPING SLEEVED THROUGH SLAB. CONTRACTOR TO FULLY SEAL SPACE AROUND PIPES WITH A 2-HOUR U.L. APPROVED FIRE RESISTIVE "THERMAFIBER" GLASS FIBER SAFING INSULATION AS MANUFACTURED BY U.S. GYPSUM CO. COMPLYING WITH ASTM E-119 OR APPROVED SIMILAR. PENETRATIONS THROUGH FIRE RATED WALLS SHALL BE PROTECTED AS TO MAINTAIN THE FIRE RATING OF SAID WALL.
- ALL SHAFTS WHERE APPLICABLE TO BE 2-HOUR RATED WITHOUT EXCEPTION, UL DESIGN NO. U-505 OR APPROVED SIMILAR AND SHALL CONTINUE AS SUCH TO UNDERSIDE OF ROOF OR FLOOR STRUCTURAL DECKING. SEE WALL TYPE DETAILS FOR WALL DESIGN.
- CHAPTER 39, SEE FIRE PROTECTION, MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS.
- THE UNDERSIDE OF ALL EXTERIOR SOFFITS AND SLABS EXPOSED TO WEATHER SHALL RECEIVE A CONTINUOUS DRIP STRIP WITHOUT EXCEPTION.
- ALL METAL FLASHING, SCUPPERS, ETC. TO RECEIVE PAINT AS RECOMMENDED BY MANUFACTURER, UNLESS OTHERWISE NOTED ON THE DRAWINGS OR PROJECT MANUAL.
- BLOCKING AND /OR VERTICAL OR HORIZONTAL FRAMING REQUIRED FOR WALL MOUNTED OR BRACED FIXTURES, MILLWORK, SHELVES, BATHROOM FIXTURES, ACCESSORIES TILE AND STONE WORK OR BY OTHER ITEMS DESCRIBED IN INTERIOR DESIGN AND ARCHITECTURAL DRAWINGS.
- IN ADDITION TO WALL TYPES SHOWN ON PLANS THE CONTRACTOR SHALL REFER TO THE ROOM FINISH SCHEDULE, INTERIOR ELEVATIONS AND DETAILS FOR ADDITIONAL INFORMATION REGARDING FINISHES, INCLUDING INTERIOR DESIGN DRAWINGS.
- CONTRACTOR TO PROVIDE ACCESS PANELS FOR ALL A/C FIRE DAMPERS.
- CONTRACTOR SHALL PAINT ALL VISIBLE SURFACES OF FACTORY PRIMED OR FACTORY PAINT FINISHED EQUIPMENT, A/C GRILLS OR REGISTERS, COVERS, ETC. UNLESS SPECIFICALLY NOTED. OTHERWISE VERIFY AND COORDINATE COLORS WITH INTERIOR DESIGNER AND ENGINEER/ARCHITECT.
- BEFORE INSTALLATION, THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER/ARCHITECT AND INTERIOR DESIGNER THE EXACT MOUNTING LOCATION OF ALL SWITCHES, WALL RECEPTACLES, PLUGS, THERMOSTATS AND OTHER WALL MOUNTED FIXTURES UNLESS NOTED ON PLANS.
- ALL INTERIOR AND EXTERIOR JOINTS BETWEEN DISSIMILAR MATERIALS OR FINISHES SHALL RECEIVE A BEAD OF CAULKING TO MATCH COLOR OF ADJACENT SURFACE. COORDINATE COLORS WITH ARCHITECT/OWNER.
- CIVIL ENGINEERING, INTERIOR DESIGN AND LANDSCAPE/IRRIGATION DRAWINGS ARE PART OF THIS PROJECT AND SHALL BE USED BY THE CONTRACTOR IN FULL COORDINATION W/ ALL THE DWGS. ISSUED BY GREEN DESIGN CONSTRUCTION & DEVELOPMENT, LLC.
- CONTRACTOR IS RESPONSIBLE FOR INCLUDING IN HIS BID, LABOR AND MATERIAL COSTS FOR ANY CHANGE OR ALTERATION OF ADJACENT AREAS TO BE DISTURBED DURING CONSTRUCTION SUCH AS, BUT NOT LIMITED TO, PAVING SIDEWALKS, STREETS, EXISTING TREES AND LANDSCAPING TO INSURE THEIR PROPER DRAINAGE AND RETURN THEM TO THEIR ORIGINAL FINISHED CONDITION.
- ALL REQUIRED TESTS SHALL BE PERFORMED AT THE EXPENSE OF THE CONTRACTOR AND BY AN APPROVED TESTING LABORATORY. TESTS RESULTS SHALL BE SUBMITTED TO THE ENGINEER/ARCHITECT.
- ALL SLABS ON GRADE, INTERIOR AND EXTERIOR, TO BE ON 6 MILL POLYETHYLENE VAPOR BARRIER WITHOUT EXCEPTION, UNLESS OTHERWISE NOTED.
- THE CONTRACTOR, AND ALL SUBCONTRACTORS AND SUPPLIERS, SHALL GRANT TO THE OWNER/DEVELOPER, INSTITUTIONAL MORTGAGEE AND TO THE PURCHASER OF EACH UNIT, IMPLIED WARRANTIES OF FITNESS AS TO THE WORK PERFORMED OR MATERIALS SUPPLIED BY THEM AS FOLLOWS: (A) AS REQUIRED BY FLORIDA STATUTE
"COMPLETION OF A BUILDING OR IMPROVEMENT" MEANS FINAL COMPLETION OF CONSTRUCTION, FINISHING, AND EQUIPPING OF THE BUILDING OR IMPROVEMENT ACCORDING TO THE PLANS AND SPECIFICATIONS AND THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR THE ENTIRE BUILDING OR IMPROVEMENT, OR THE EQUIVALENT AUTHORIZATION BY THE GOVERNMENTAL BODY HAVING JURISDICTION. THE WARRANTIES PROVIDED HEREIN SHALL INSURE TO THE BENEFIT OF EACH OWNER AND ITS SUCCESSOR TO THE BENEFIT OF THE OWNER/DEVELOPER, AND TO THE BENEFIT OF THE INSTITUTIONAL MORTGAGEE.
- A SEPARATE PERMIT AND PRODUCT CONTROL APPROVAL, WHEN APPLICABLE, IS REQUIRED FOR THE FOLLOWING:
RIDGE VENTILATION, AWNINGS, DEMOLITION, STEEL JOISTS, GLASS BLOCK, ALUMINUM TRELLIS & GRID PANELS & LOUVERS, CANOPIES & RAIL, STAIR RAIL & BALCONY GUARDRAIL, STEEL FRAMES & METAL DECKS, STRUCTURAL GLAZING, CURTAIN WALLS, SIGNS, FENCES, WINDOWS, DOORS, STOREFRONTS, PRECAST SYSTEMS, ROOFING, RAILINGS, MULLIONS, HANDRAIL, METAL STRUCTURAL COLUMN, METAL ROOF FEATURE, ELEVATORS, GLASS & TRANSLUCENT MATERIAL, WALL WALL.
- ALL DOORS SWINGING INTO SERVICE CORRIDOR MUST HAVE 180 DEGREE HINGE.
- INTERIOR WALL AND PARTITIONS: INTERIOR WALLS AND PARTITIONS THAT EXCEED 6 FEET IN HEIGHT, INCLUDING THEIR FINISH MATERIALS, SHALL HAVE ADEQUATE STRENGTH TO RESIST THE LOADS TO WHICH THEY ARE SUBJECTED BUT NOT LESS THAN A HORIZONTAL LOAD OF 5 PSF.
- CERTIFICATE OF PROTECTIVE TREATMENT FOR PREVENTION OF TERMITES. A WEATHER RESISTANT JOBSITE POSTING BOARD SHALL BE PROVIDED TO RECEIVE DUPLICATE TREATMENT CERTIFICATES AS EACH REQUIRED PROTECTIVE TREATMENT IS COMPLETED, PROVIDING A COPY FOR THE PERSON THE PERMIT IS ISSUED TO AND ANOTHER COPY FOR THE BUILDING PERMIT FILES. THE TREATMENT CERTIFICATE SHALL PROVIDE THE PRODUCT USED, IDENTITY OF THE APPLICATOR, TIME AND DATE OF THE TREATMENT, SITE LOCATION, AREA TREATED, CHEMICAL USED, PERCENT CONCENTRATION AND NUMBER OF GALLONS USED, TO ESTABLISH A VERIFIABLE RECORD OF PROTECTIVE TREATMENT. IF THE SOIL CHEMICAL BARRIER METHOD FOR TERMITE PREVENTION IS USED, FINAL EXTERIOR TREATMENT SHALL BE COMPLETED PRIOR TO FINAL BUILDING APPROVAL.
- NOTICE OF TERMITE PROTECTION. A PERMANENT SIGN WHICH IDENTIFIES THE TERMITE TREATMENT PROVIDER AND NEED FOR RE-INSPECTION AND TREATMENT CONTRACT RENEWAL SHALL BE PROVIDED. THE SIGN SHALL BE POSTED NEAR THE WATER HEATER OR ELECTRIC PANEL.
- ALL STEEL LINK BEAMS WITH PENETRATIONS TO HAVE A 2 HR RATED COVERAGE AS SHOWN ON THIS DRAWINGS OR REFER TO SPECS.
- FINISH FLOOR TO BE SLIP RESISTANT FBC 11-4.5
- ALL OPENINGS WILL BE PROTECTED BY FLOOD BARRIERS & ALL FINISH CONSTRUCTION MATERIALS BELOW THE BASE FLOOD ELEVATION WILL BE FLOOD RESISTANCE MATERIAL BY MASTER PERMIT DOCUMENTS.

SYMBOL LEGEND

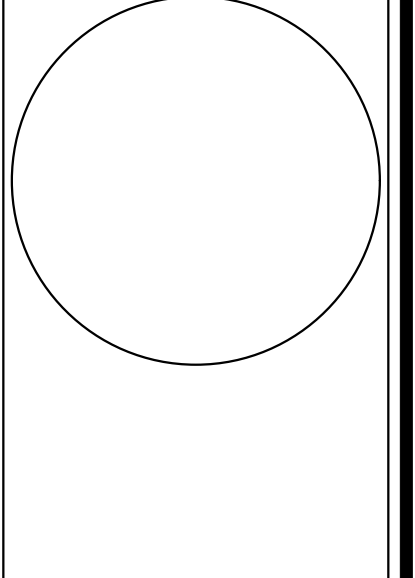
	BUILDING SECTION DRG NO./SHT NO.		PLAN DETAIL CALL OUT DETAIL NO./SHT NO.
	BUILDING EXTERIOR ELEVATION DRG NO./SHT NO.		WALL SECTION SECTION NO./SHT NO.
	NORTH ARROW		SECTION TITLE DRG NO./SHT NO.
	COLUMN GRID		DETAIL TITLE DETAIL NO./SHT NO.
	DOOR REFERENCE		ELEVATION CHANGE
	WINDOW REFERENCE		CENTERLINE
	INTERIOR ELEVATION DRG NO./SHT NO.		
	ELEVATION		
	ELEVATION OF FLOOR		
	MATCH LINE		
	REVISION CLOUD		
	ROOM, SPACE (SEE FINISH SCHEDULE)		

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TOWN HALL OF SOUTH PALM BEACH
MONOLITHIC INFORMATION SIGN
 PROJECT ADDRESS: 3577 SOUTH OCEAN BLVD.
 PROJECT CITY: SOUTH PALM BEACH
 PROJECT STATE: FL
 PROJECT ZIP CODE: 33480
 PARCEL ID: 62-43-44-35-00-002-0191

ISSUED FOR CONSTRUCTION

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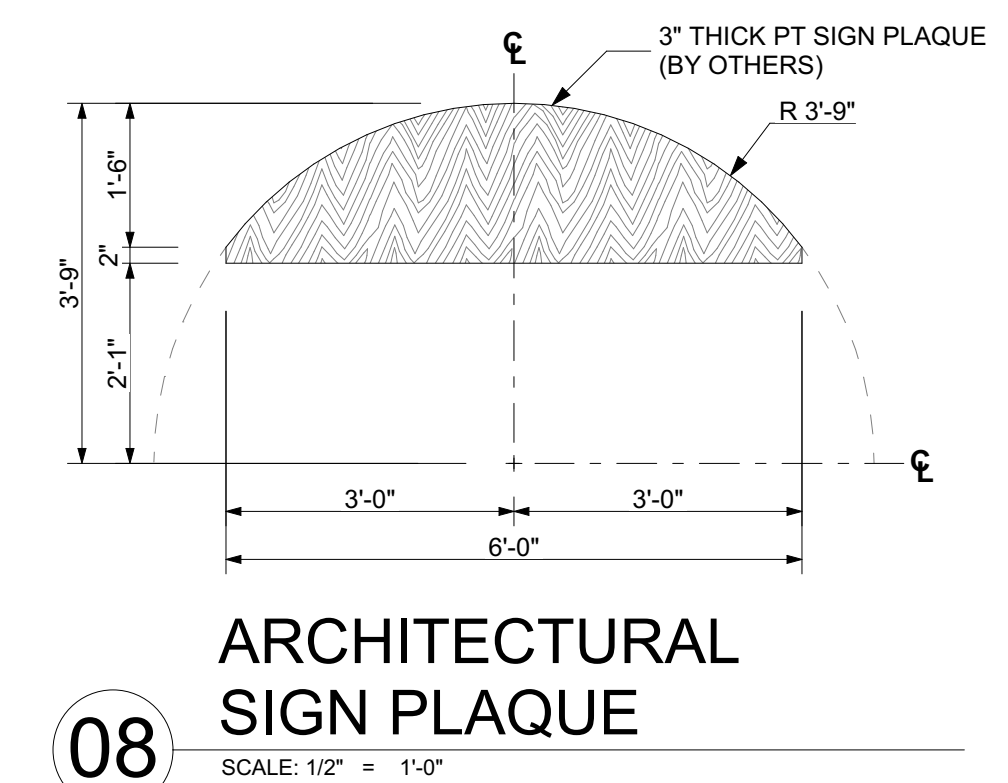
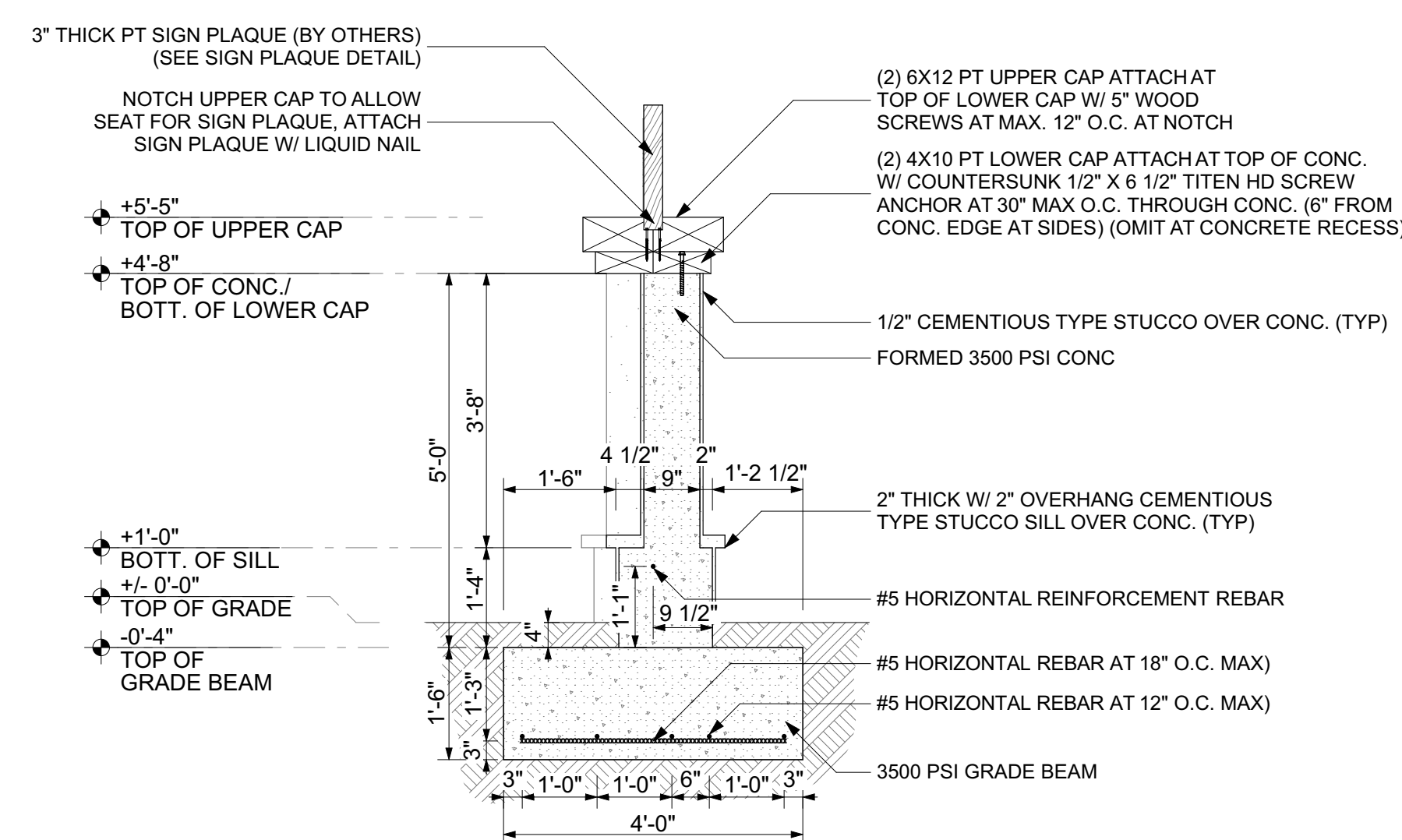
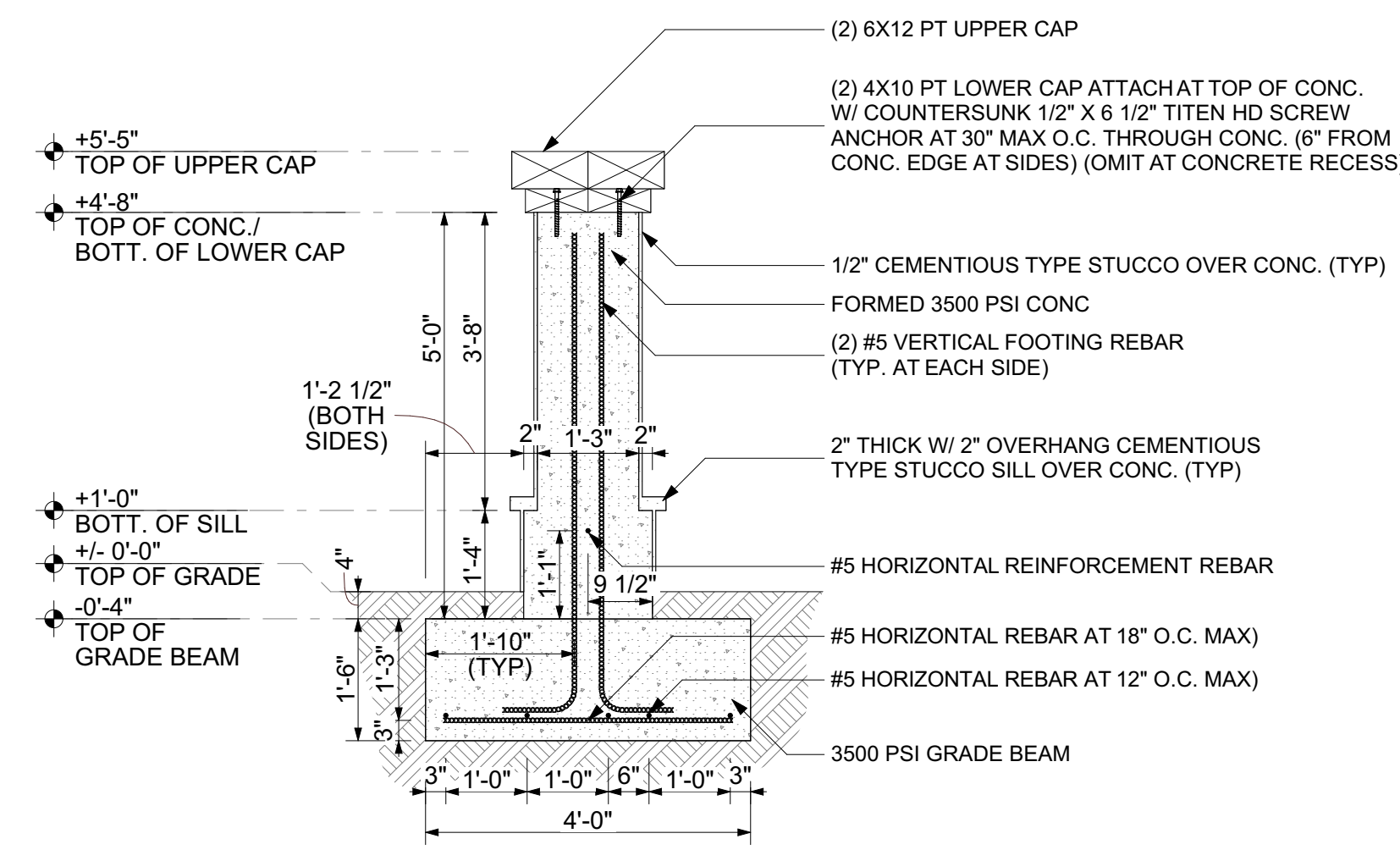
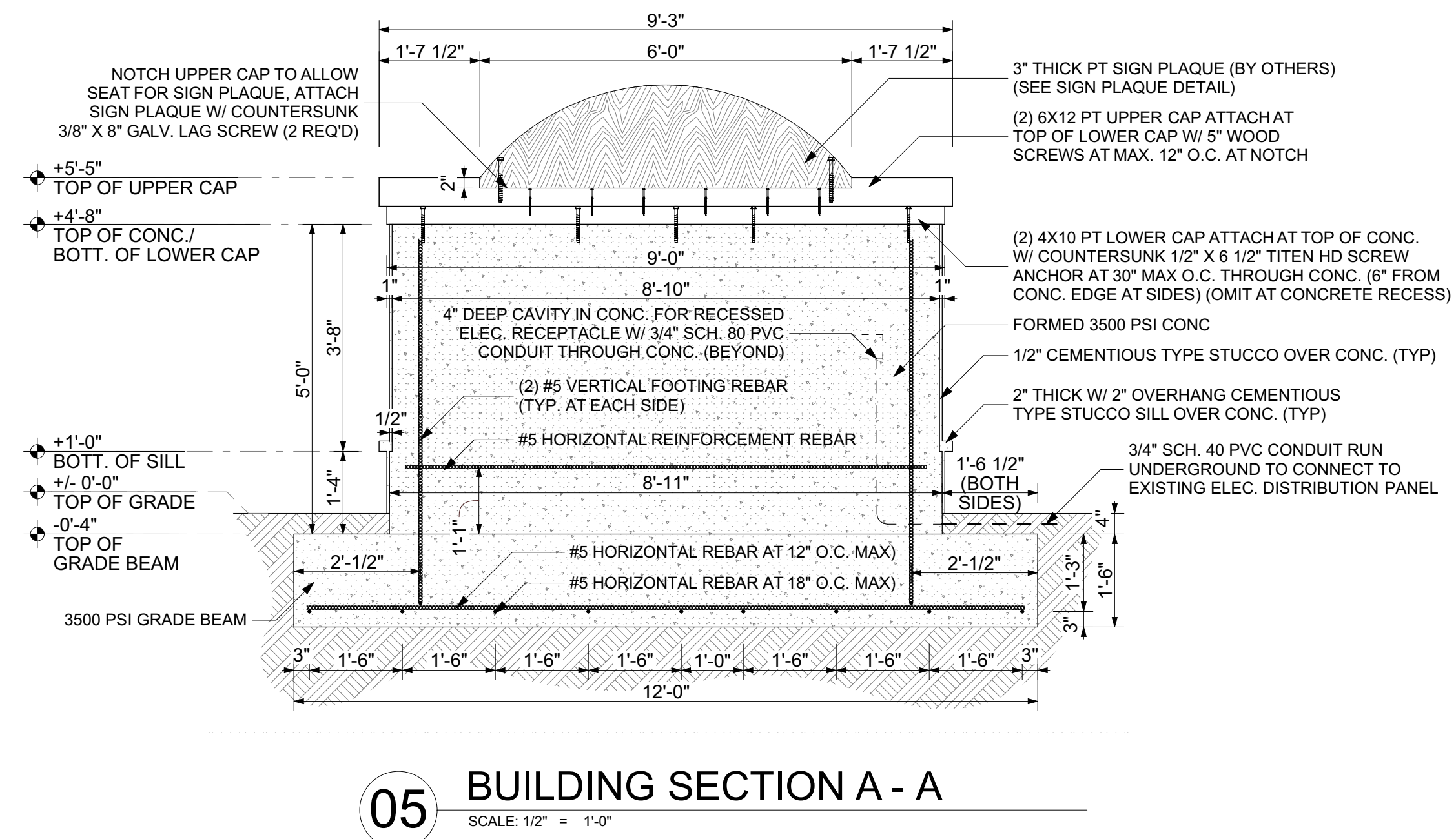
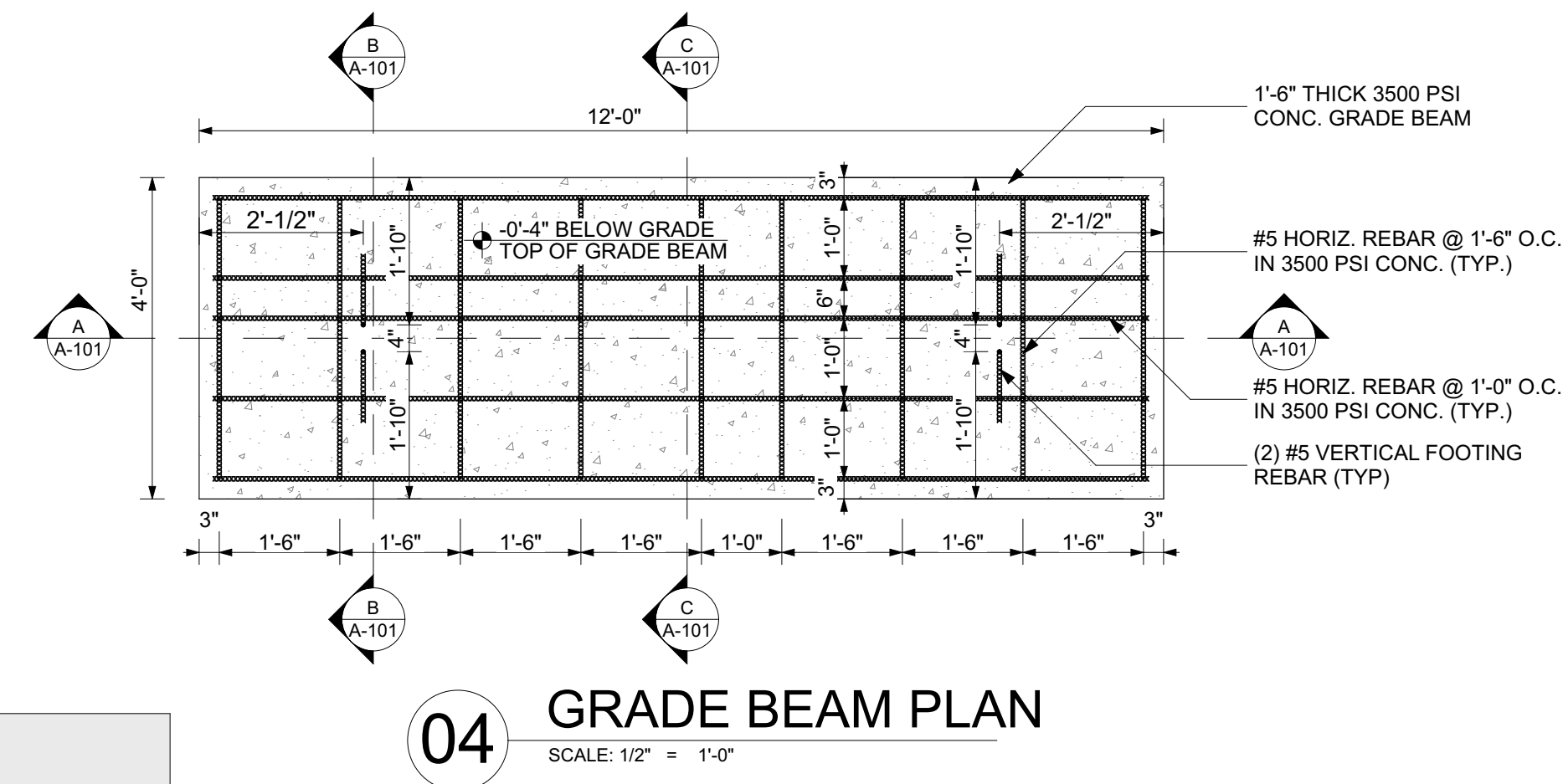
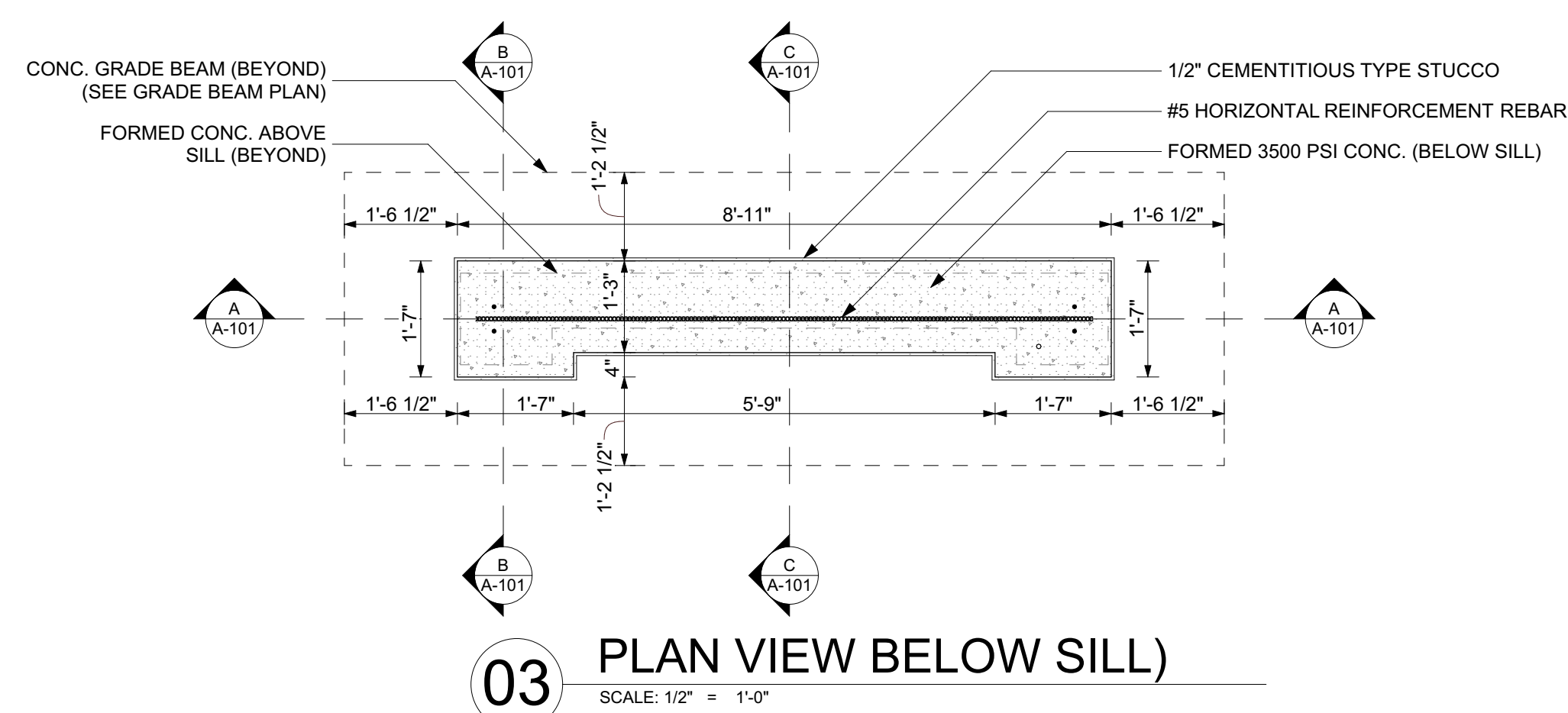
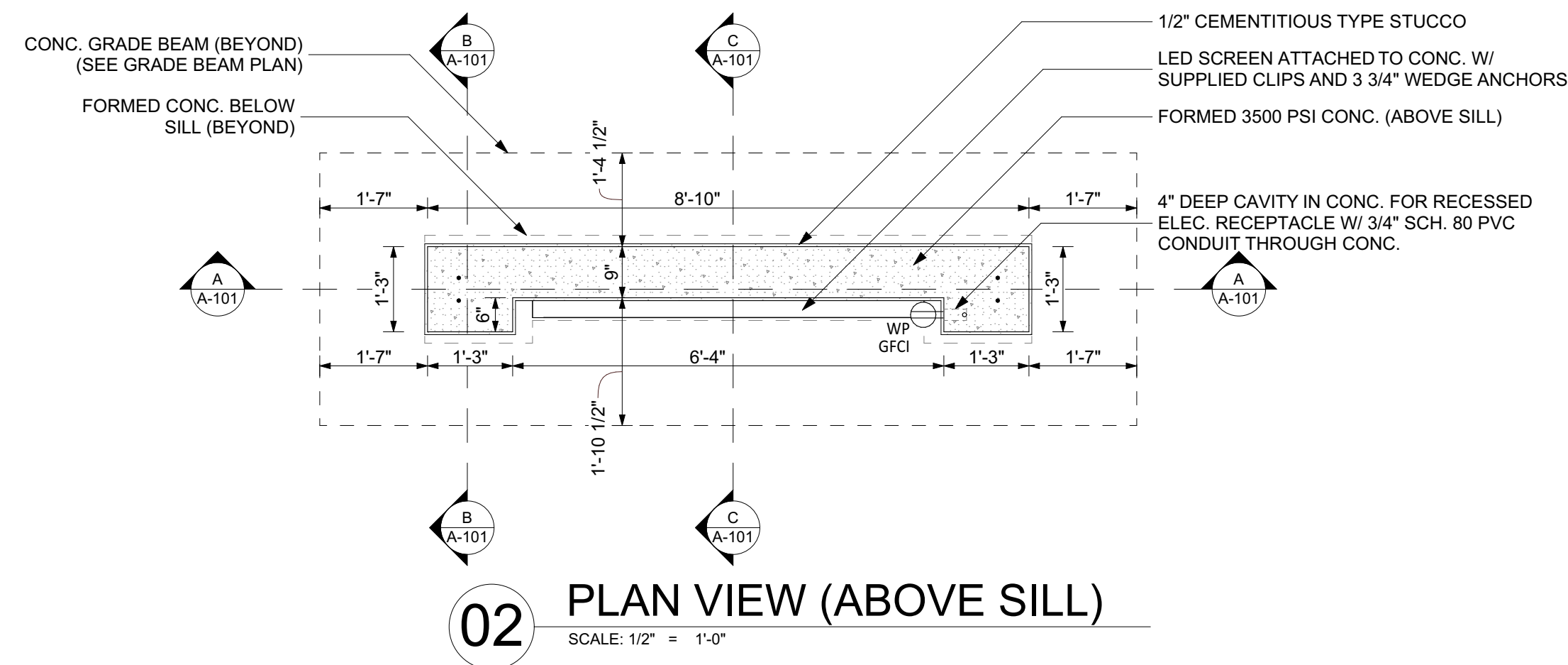
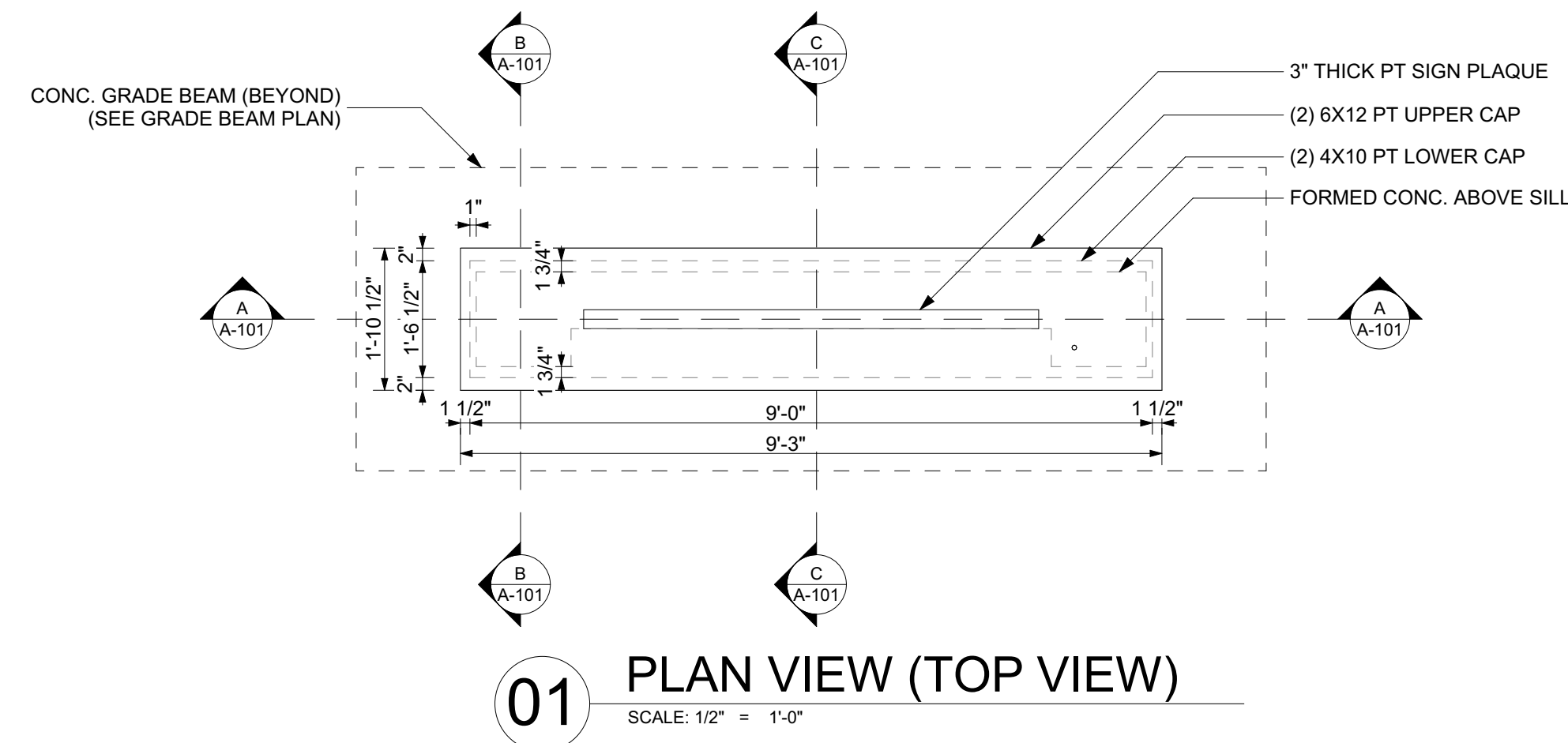


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REVISION

WRITTEN DIMENSIONS ON THESE DOCUMENTS SHALL TAKE PRECEDENCE OVER ALL SCALED DIMENSIONS.

DRAWN BY B.S. & K.W.
CHECKED BY J.H.C.
DATE 2/12/2021
SHEET A-001

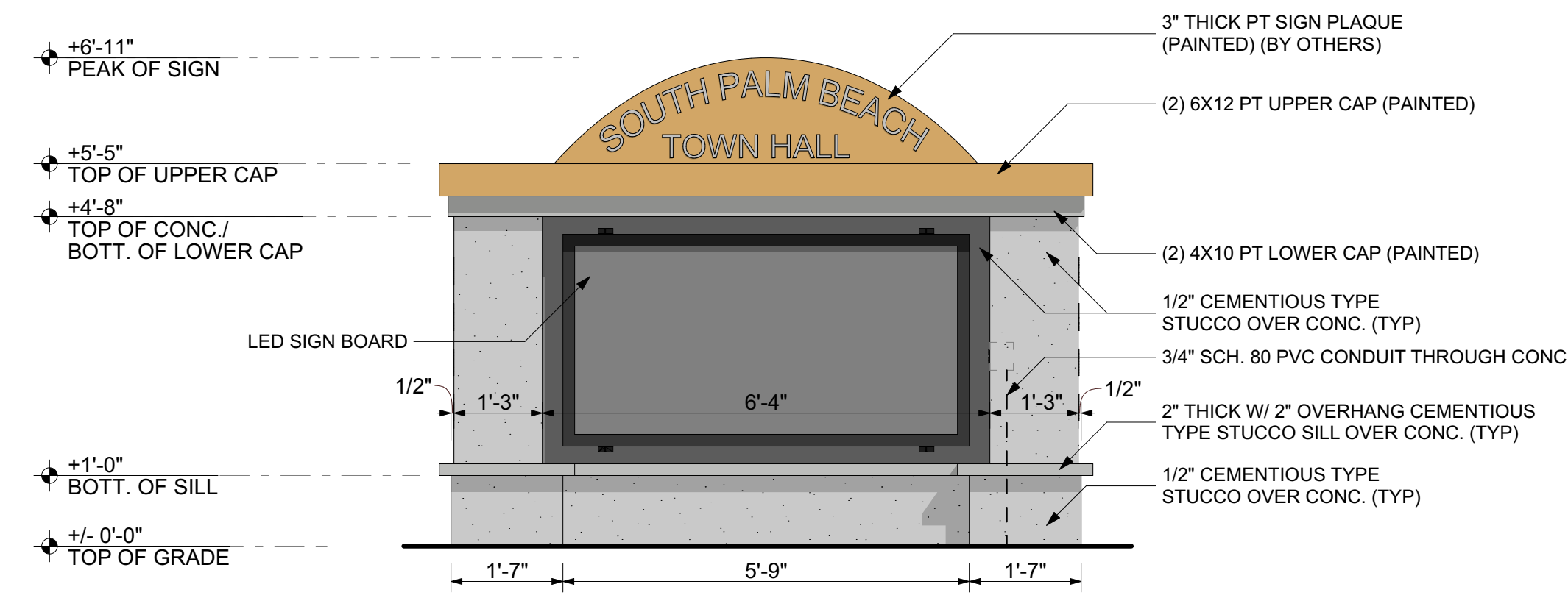


TYPICAL DIMENSION NOTE

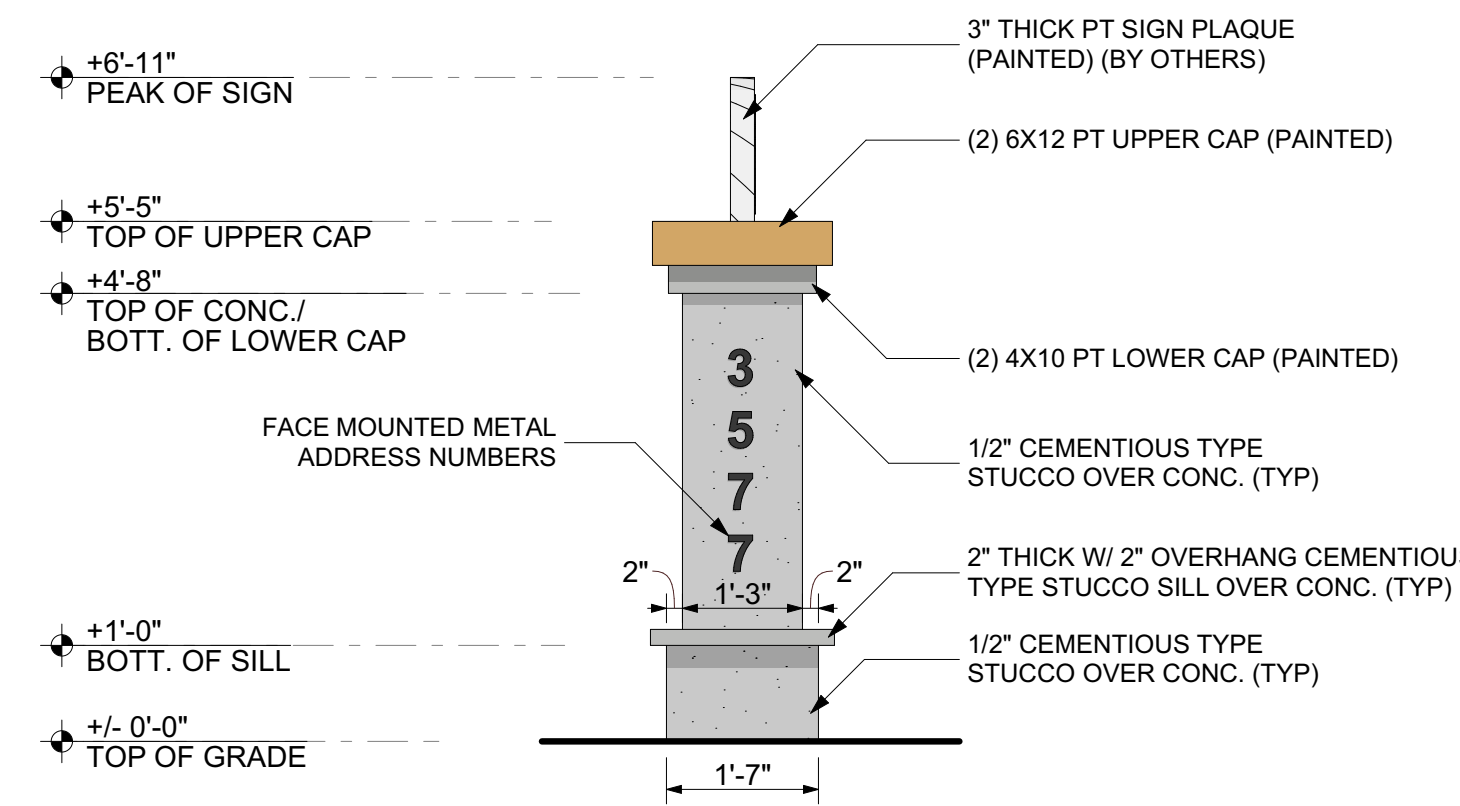
SOME VIEWS CONTAIN FINISHES. ALL DIMENSIONS ARE TO CORE ONLY.

HORIZONTAL PLANS AND SECTIONS

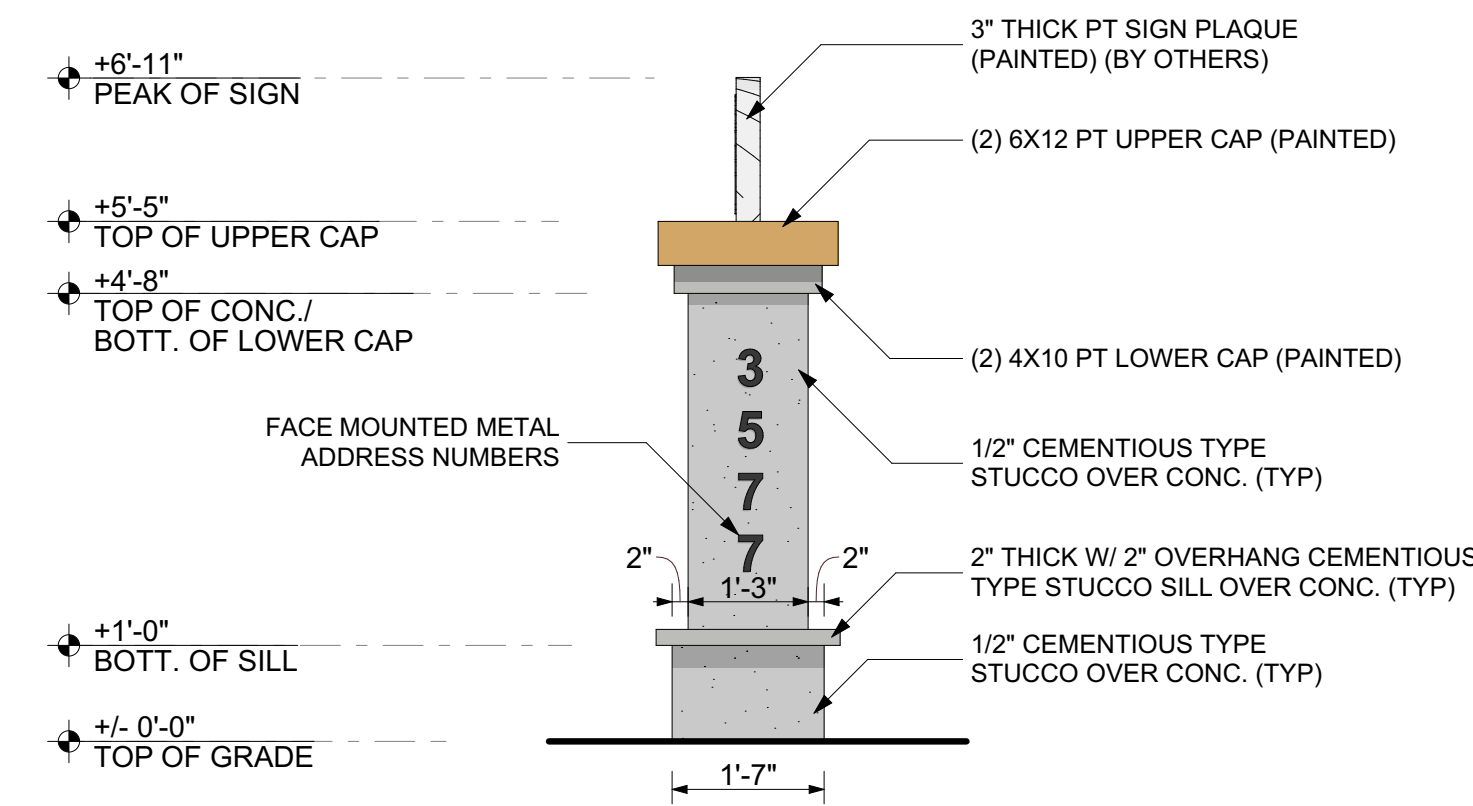
GENERAL NOTE: FINAL PAINT COLORS TO BE SELECTED BY OWNER. COLORS SHOWN ARE FOR REFERENCE ONLY.



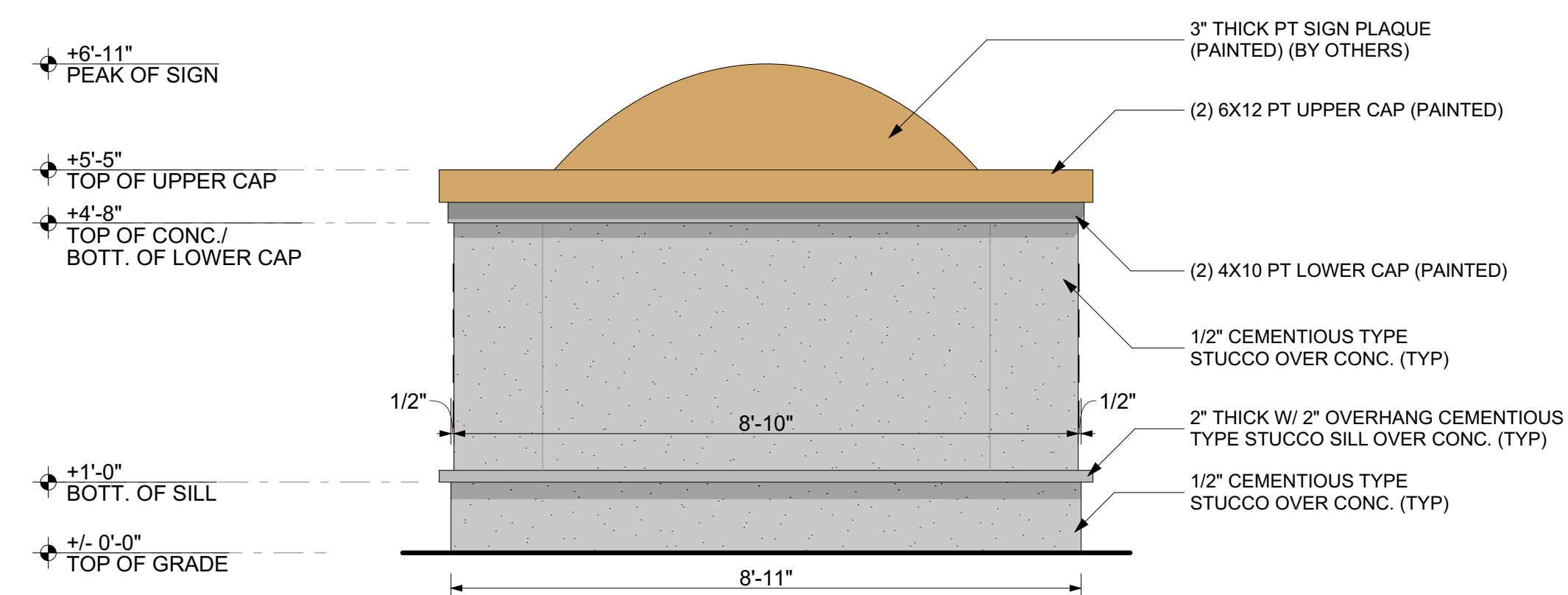
01 FRONT ELEVATION
 SCALE: 1/2" = 1'-0"



02 LEFT SIDE ELEVATION
 SCALE: 1/2" = 1'-0"



03 RIGHT SIDE ELEVATION
 SCALE: 1/2" = 1'-0"



04 REAR ELEVATION
 SCALE: 1/2" = 1'-0"

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DRAWN BY
 B.S. & K.W.

CHECKED BY
 J.H.C.

DATE
 2/12/2021

SHEET

A-201